



APPLICATION
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Original

Project Name: ISLAND CRAFT/CHRISTIANSON PRE

Bainbridge Island

Date Received: 8/27/2013

Project Number: PRJ-0018921

AUG 27 2013

Case Number: PRE18921

Primary Parcel Number: 04250240302007

Site address: Day Road West

Dept. of Planning & Community Development

Case Description: 8/27/2013, Sean Conrad, Day Road West. Construction of 3 buildings to house 12 shop spaces for light industrial use on a 1.5 acre parcel.

Preapplication Conference: Tuesday, September 17, 2013 @ 9:00 a.m.
Design Review Board: Monday, October 7, 2013 @ 2:00 p.m.

People associated with case:
01. File Name
ISLAND CRAFT/CHRISTIANSON
DAY ROAD WEST
BAINBRIDGE ISLAND WA 98110
03. Owner
ZANSHIN DESIGN LLC
7910 NE DAY ROAD WEST
BAINBRIDGE ISLAND WA 98110
PHONE: 206-780-2516
03. Owner
DAVID CHRISTIANSON
POST OFFICE BOX 11765
BAINBRIDGE ISLAND WA 98110
PHONE: 206-780-2516
04. Applicant
TONY PUMA
10857 BILL POINT HILL
BAINBRIDGE ISLAND WA 98110
PHONE: 206-617-7862
07. City Planner
SEAN CONRAD

Parcel Numbers:
04250240302007

Tax Parcel Owner(s):
04250240302007
ZANSHIN DESIGN LLC
7910 NE DAY ROAD WEST
BAINBRIDGE ISLAND, WA 98110

Table with 4 columns: Description, Amount, Receipt No., Due. Row 1: Pre-app conference, \$ 265.00, 450308, \$ 0.00. Row 2: \$265.00, \$0.00

CITY OF BAINBRIDGE ISLAND

**SITE PLAN AND DESIGN REVIEW APPLICATION**

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.  
PENCIL WILL NOT BE ACCEPTED.



*Original*

<p style="text-align: center;"><u>DATE STAMP FOR CITY USE ONLY</u></p> <p style="text-align: center; font-size: 1.2em; font-weight: bold;">Bainbridge Island</p> <p style="text-align: center; font-size: 1.2em; font-weight: bold;">AUG 27 2013</p> <p style="text-align: center; font-size: 0.8em;">Dept. of Planning &amp; Community Development</p>	<p style="text-align: center; font-weight: bold;">TO BE FILLED OUT BY APPLICANT</p> <p>PROJECT NAME: <u>ISLANDCRAFT 2.0</u></p> <p>TAX ASSESSOR'S NUMBER: <u>042502-4-030-2007</u></p> <hr/> <p>PROJECT STREET ADDRESS OR ACCESS STREET: <u>7910 NE DAY RD WEST</u></p> <p>ENVIRONMENTAL CHECKLIST SUBMITTED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p> <hr/> <p style="text-align: center; font-weight: bold;">FOR CITY USE ONLY</p> <p>FILE NUMBER: <u>PRE18921</u></p> <p>PROJECT NUMBER: <u>PRJ-001892</u></p> <p>DATE RECEIVED: <u>8.27.2013</u></p> <p>APPLICATION FEE: <u>\$265.00</u></p> <p>TREASURER'S RECEIPT NUMBER: <u>450308</u></p>
<p style="font-weight: bold; font-size: 1.2em;">SUBMITTAL REQUIREMENTS</p>	
<b>APPLICATION</b>	One original (which must contain an original signature) and six copies must be provided. Whenever possible, originals must be <i>signed in blue</i> . Please identify the original document.
<b>SUPPORTING DOCUMENTS</b>	One original (which must contain an original signature), where applicable, and six copies (if an original is not applicable, seven copies must be provided).
<b>FULL-SIZE DRAWINGS</b>	Seven copies of the required drawings must be provided. Drawings <i>must be folded and 18" x 24"</i> in size. <i>No construction drawings or other sized drawings</i> will be accepted unless specifically requested.
<b>REDUCED DRAWINGS</b>	Five copies of the drawings reduced to 11" x 17" must be provided.
<b>SUBMITTING APPLICATIONS</b>	Applications <i>must be submitted in person</i> by either the owner or the owner's designated agent. Should an agent submit the application, a <i>notarized Owner/Agent Agreement</i> must accompany the application. Please call (206) 780-3762 to make an appointment to submit your application.
<b>FEES</b>	Please call the Department of Planning & Community Development for submittal fee information.
<b>ATTACHED SUBMITTAL CHECKLIST</b>	Please refer to attached Submittal Checklist for further information. <b>NOTE:</b> when submitting this application, please do not copy or include the Submittal Checklist sheets attached to the back of this application.
<p style="font-weight: bold; font-size: 1.1em;">APPLICATIONS WILL NOT BE ACCEPTED</p> <p style="font-weight: bold; font-size: 1.1em;">unless these basic requirements are met and the submittal packet is deemed counter complete.</p>	

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT  
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812  
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: [pcd@bainbridgewa.gov](mailto:pcd@bainbridgewa.gov)  
[www.ci.bainbridge-isl.wa.us](http://www.ci.bainbridge-isl.wa.us)

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A. GENERAL INFORMATION

1. Name of property owner: ZANJAIN DESIGN LLC  
Address: 7910 N.E. DAY RD WEST  
Phone: 206.419.6619 Fax: \_\_\_\_\_  
E-mail: DRC DESIGN @ MAC.COM

Name of property owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Name of property owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

*If the owner(s) of record as shown by the county assessor's office is (are) not the agent,  
the owner's (owners') signed and notarized authorization(s) must accompany this application.*

2. Applicant/agent: ISLAND CRAFT 2.0 LLC - TONY PUMA  
Address: 10857 BILL POINT HILL, 98110  
Phone: 206.617.7862 Fax: \_\_\_\_\_  
E-mail: TPUMA2002 @ HOTMAIL.COM

3. Name of land surveyor: TBD  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-mail: \_\_\_\_\_

4. Planning department personnel familiar with site: JOSEPH MACHEN

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5. Description of proposal:

A THREE BUILDING COMPLEX  
HAVING 14 SHOP-LIGHT INDUSTRIAL SPACES. THIS IS  
A CONDOMINIUM DEVELOPED & OWNED BY ISLANDCRAFT 2.0 LLC.

6. Driving directions to site:

305 TO DAY RD 3 WEST 1/2 MILE

7. Please give the following existing parcel information:

Assessor's Parcel Number	Parcel Owner	*Lot Area
042501-4-030-2007		3.09 AC.
Use additional sheet if necessary	Total of all parcels:	

\* As defined in Bainbridge Island Municipal Code 18.12.050

8. Legal description (or attach):

9. Current comprehensive plan, zoning and shoreline designations and use of subject parcel(s):

Lot Number	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
Lot	LT. INDUS	LT. INDUS	N/A	WOODED - VACANT
Lot				
Lot				
Lot				

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10. Current comprehensive plan, zoning and shoreline designations and use of adjacent properties:

Property	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
North	LT. INDUS	LT. INDUS	N/A	VACANT
South	II	II		LT. INDUSTRIAL
East	II	II		VACANT
West	II	II		VACANT

11. Common name of adjacent water area or wetlands area: \_\_\_\_\_

12. Does the site contain an environmentally sensitive area as defined in Critical Areas Ordinance (Bainbridge Island Municipal Code Chapter 16.20)?

yes     no     unknown

If yes, check as appropriate:

<input checked="" type="checkbox"/> wetland*	<input type="checkbox"/> geologically hazardous area**
<input checked="" type="checkbox"/> wetland buffer*	<input type="checkbox"/> zone of influence**
<input type="checkbox"/> stream*	<input type="checkbox"/> slope buffer**
<input type="checkbox"/> stream buffer*	<input type="checkbox"/> fish and wildlife habitat area

\* If your site includes a wetland or wetland buffer, a wetland report is required with your application.

\*\*If your site includes a geologically hazardous area or is within the zone of influence as defined in Bainbridge Island Municipal Code 16.20, a geotechnical report may be required with your application.

13. Are there underlying/overlying agreements on the property?     yes     no     unknown  
If yes, check as appropriate and provide a copy of the decision document:

<input type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> SPR Site Plan Review
<input type="checkbox"/> MPD Master Planned Development	<input type="checkbox"/> SPT Short Plat
<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SSDP Shoreline Permit
<input type="checkbox"/> REZ Contract Rezone	<input checked="" type="checkbox"/> SUB Prior Subdivision
<input type="checkbox"/> RUE Reasonable Use Exception	<input type="checkbox"/> VAR Zoning Variance
	<input type="checkbox"/> Other: _____

Under which jurisdiction was the approval given?

City of Bainbridge Island     Kitsap County

Approval date: \_\_\_\_\_

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14. Is there any other information which is pertinent to this project?  yes  no

If yes, please explain: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

B. TECHNICAL INFORMATION

1. Name of water purveyor: KPUD

If a private well, what class? \_\_\_\_\_

2. Type of sewage disposal:  on-site septic  off-site septic  sewer  
Sewer district:  City of Bainbridge Island  Sewer District 7

3. General description of the existing terrain: SLOPED, WOODED

4. Soil survey classification: SAND/GRAVEL

5. Flood plain designation:  X  AE N/A

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6. Access (street functional road classifications):

Street Type	Required ROW Width	Street Name	Existing ROW Width
primary arterial	150 feet	Highway 305	
secondary arterial	60 feet	<u>DAY ROAD</u>	<u>60</u>
collector	50 feet		
residential urban	40 feet		
residential suburban	30 feet		
private	20 - 30 feet		

7. Sidewalks are adjacent to the parcel:  yes  no  
 If yes, existing sidewalks are \_\_\_\_\_ feet wide.  
 Sidewalk installation is proposed as part of the development project:  yes  no  
 Proposed sidewalks:  adjacent to the parcel and are to be \_\_\_\_\_ feet wide.  
 internal to the proposal and are to be \_\_\_\_\_ feet wide.

8. Intended use of the land, as well as the sequence and timing of the proposed development:  
LIGHT INDUSTRIAL BUILDINGS & DEVELOPMENT  
SPRING 2014

9. Floor area ratio: APPROX 110'x40'; 140'x40'; 160'x40'

10. Dimensions of proposed structures: SEE ATTACHED PLAN

11. Height of proposed buildings or structures: 32' FROM GRADE AT HIGHEST POINT

12. Square footage of all spaces:  
 retail:                     /  
 office:                     /  
 storage:                     -  
 residential:                     -  
 other: INDUST. 16000 sq ft

13. Number of stories proposed: 1

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14. Square feet per story: (1) 16000 (2) (3)

15. Setback requirements:

north: 15 BUFFER  
east: 25'

south: 50'  
west: 80 WETLAND BUFFER

16. Number of parking stalls required: TBD

17. Number of parking stalls proposed: 50

18. Amount of square footage of proposed paved areas: 21,300 sq ft

19. Square footage of building area: 16000 sq ft

20. Percent of site to be covered by impervious surfaces: 59% (NOTE: SITE = 63200 sq ft) %  
(If the proposal results in more than 1,000 square feet of additional impervious surface, a drainage plan shall be required.)

21. Percentage of site to be covered by landscaping: 41% %

22. Percentage of parking area to be covered by landscaping: 10% %

23. Percentage of site to remain undeveloped: 0 %

24. Is the applicant proposing any terms, conditions, covenants and agreements or other documents regarding the intended development: (If yes, attach copies)  yes  no  unknown

25. List any other permits for this project from state, federal or local governmental agencies for which you have applied or will apply, including the name of the issuing agency, whether the permit has been applied for, and if so, the date the application was approved or denied, and the application or permit number:

- WATER AVAILABILITY FROM KPOD
- BUILDING PERMIT
- CLEARING - GRADING PERMIT

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26. Will the completed project result in 800 or more square feet of impervious surface  
(building footprint + driveways + parking)?  yes  no  unknown

27. Will the project result in clearing more than six significant trees or 2,500 square feet of ground?  
 yes  no  unknown

28. Do storm water systems exist on the site?  yes  no  unknown

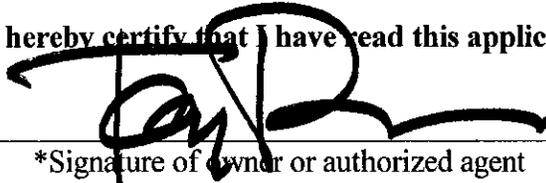
If yes, were they constructed after 1982?  yes  no  unknown

If yes, what type of storm water system exists on the site?  
 infiltration  open ditching  closed conveyance  detention

29. Will the completed project result in excavating of or filling in:

less than 50 cubic yards.  more than 50 cubic yards but less than 100 cubic yards.  more than 100 cubic yards.

I hereby certify that I have read this application and know the same to be true and correct.



\*Signature of owner or authorized agent



Date

**TONY PUMA**

Please Print

*\*If signatory is not the owner of record, the attached "Owner/Agent Agreement" must be signed and notarized.*

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