
NOTICE OF MITIGATED DETERMINATION OF NONSIGNIFICANCE (MDNS)

The City of Bainbridge Island has made the following determination on the below referenced application:

Date: September 19, 2013

Applicant: Zapf, Peter and Suzanne

Permit Request: Shoreline Conditional Use Permit (fn: SCUP17519)

Description of Proposal: The applicants have applied for the construction of a residential shoreline access stairway down a 40 foot shoreline bluff, landing on an existing bench at the foot of the bluff, adjacent to a rock bulkhead. The proposed stairway includes two 8' x 8' landings with a stairway width of approximately 3-feet. The stairway is made up of three stairway runs leading from the top of the bluff to the shoreline. These stairway runs have an area of 186 square feet. The stairway runs in addition to the two 8' x 8' landings and bottom landing total approximately 350 square feet. A 200 square foot boat house with an attached 120 square foot wrap around deck is included in the application. The boathouse and deck will be located at the foot of the stairs, constructed between the stairs and rock bulkhead.

Location of Proposal: 13807 Silven Avenue

Tax Parcel #: 052502-1-025-2009

SEPA Decision: The City of Bainbridge Island (lead agency) has determined that the proposal does not have a probable significant impact on the environment if measures to mitigate this proposal are used. This MDNS is issued under WAC 197-11-355. This determination was made and mitigation measures were applied after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public upon request. An environmental impact statement (EIS) is not required under RCW 43.21C.030 (2) c.

Responsible Official: Katharine Cook, Director
Department of Planning & Community Development

Address: City of Bainbridge Island
280 Madison Avenue North
Bainbridge Island, WA 98110, (206) 842 - 2552

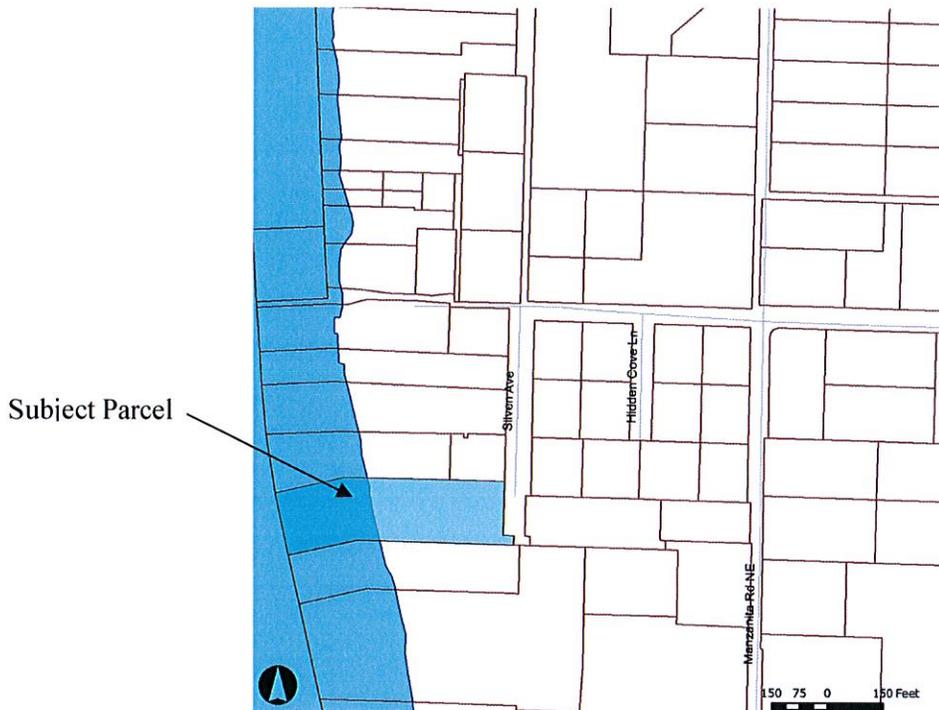


Signature



Date

Vicinity Map:



APPEAL:

You may appeal this determination by submitting a written appeal and paying a \$530.00 filing fee to the City Clerk, at 280 Madison Avenue North, Bainbridge Island, WA 98110, in accordance with the procedures set forth in the Bainbridge Island Municipal Code, Section 16.04.170 by no **later than 4:00 p.m. on October 3, 2013**. You should be prepared to make specific factual objections.

If you have any questions, contact:

Sean Conrad, Planner

Department of Planning & Community Development

280 Madison Avenue North

Bainbridge Island, WA 98110

(206) 780-3761 Fax: (206) 780-3754

Email: pcd@bainbridgewa.gov

SEPA Conditions:

1. Applicant is required to stop work and immediately notify the Department of Planning and Community Development and the Washington State Office of Archaeology and Historic Preservation if any historical or archaeological artifacts are uncovered during excavation or construction.
2. All construction and demolition debris shall be properly disposed of on land in such a manner that it cannot enter into the waterway or cause water quality degradation to United States and State waters.
3. The staircase, boat house and deck and all attendant features shall not be colored or painted other than with neutral flat greens, browns or tans, so as to blend into the native bluff soils and vegetation and be non-reflective. The intent is to obscure the installment from surrounding view.

4. No trees shall be removed for the construction of the stairway, boathouse and deck. The stairway, boathouse and deck location may need to be adjusted to accommodate for any tree fall zones.
5. At the completion of the ground disturbing activities, the disturbed areas shall be replanted prior to receiving a building final for the stairs with native vegetation in substantial accordance with the approved landscape plan. A performance assurance of 125% the cost of labor and materials will be required to ensure re-vegetation occurs if the owners are unable to install the landscaping prior to receiving a building final for the stairs. An as-built of planting plan shall be submitted to the City once the planting is completed.
6. A maintenance assurance shall be provided to the planning department to cover the cost of monitoring the new plantings on years 3 and 5 after replanting has occurred. The monitoring report must include an inventory of plant species survival, percent survival of planted species, and images from established points. The planted area shall achieve 90% survival in years 3 and 5. Vegetative coverage of mitigated area should show an increase over time, and cover not less than 100% of vegetated area after 3 years.

Non-SEPA Conditions

General conditions:

7. The proposed development shall substantially conform to the site plan dated May 29, 2013, with the exception of the deck which shall be modified in size for a maximum of 120 square feet.
8. A copy of all public agency approvals and approved drawings shall be given to all contractors performing work at the site.
9. A building permit shall be secured for the staircase. A professional engineer licensed in the State of Washington with expertise in such features shall stamp the plans of the proposed staircase.
10. A professional engineer with expertise in geotechnical issues shall prepare a geotechnical report addressing the stair construction and complete the "Permit Issuance" portion of the City form for construction in geologically hazardous areas, prior to building permit issuance. Consistent with BIMC 16.20.150, third party review of the geotechnical report shall be completed prior to building permit issuance.
11. A City of Bainbridge Island Building Permit shall be obtained for the stairs and boat house. Geotechnical reports and Structural calculations shall be required with submittal of building permits.
12. Building plans and review shall be subject to 2012 International Building Code, as it would be the current edition of Building Code as adopted by Bainbridge City Council at time of building permit application.
13. All foundations must meet either 2012 IBC standards or 2012 IRC standards for foundation depth, reinforcement, or size and type, based upon Geotechnical and Structural recommendation and/or conditions of approval.
14. Any building structures located within the FEMA flood zone shall require a flood elevation certificate or non-residential FEMA flood proofing certificate.

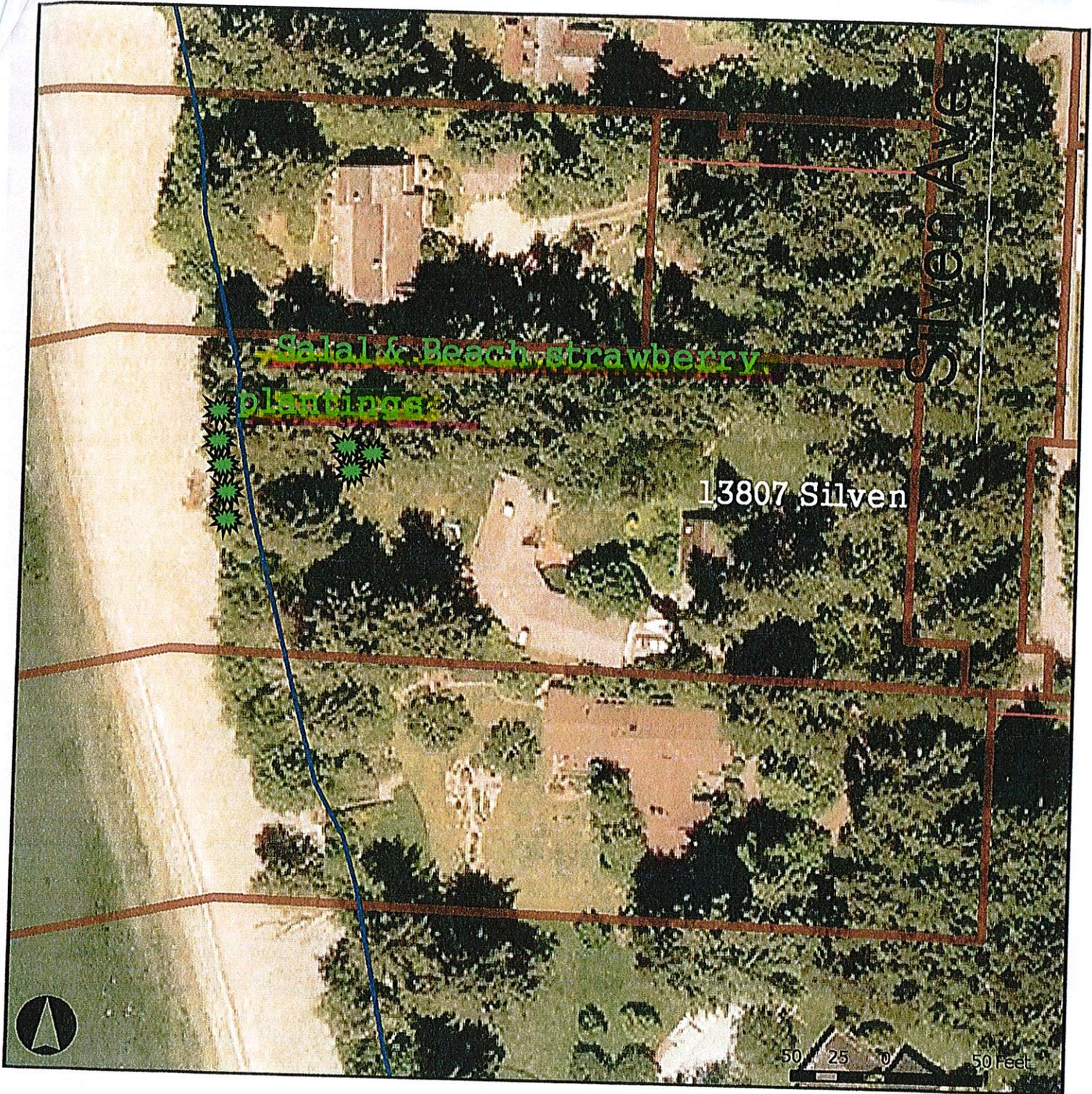
Prior to the issuance of a building permit for the stairs:

15. An indemnification/hold harmless agreement for the staircase on the shoreline bluff shall be duly executed in a form approved by the City Attorney, pursuant to BIMC 16.20.150(D).
16. The submitted replanting plan shall be modified to identify the size and type of each tree and shrub proposed and its location. All proposed replanting shall be consistent with the Shoreline Master Program Native Vegetation Zone requirements.
 - A typical planting schematic for the restoration of any disturbed areas within the 50-foot native vegetation zone.
 - Include a maintenance schedule to ensure on-going health of vegetation across the bluff face and the native vegetation zone. Minor trimming of vegetation may occur to prevent interference of the use of the staircase and to preserve views, as long as the trimming does not threaten the health of the vegetation.
 - A three-year maintenance assurance shall be provided to ensure the establishment and health of the landscaping in accordance with BIMC 18.85.090(D).

The plan shall be reviewed and approved by the Department of Planning and Community Development prior to removal of any vegetation in the project site area.

Prior to receiving a building final for the stairs:

17. The approved replanting plan shall be implemented or the owner shall secure a landscape bond for the proposed plantings.
18. Permanent protection of the expanded native vegetation zone and replanted area shall occur through a notice to title for future property owners. The notice of title shall include a plan indicating the native vegetation zone extending 55 feet landward from the ordinary high water mark.
19. An indemnification/hold harmless agreement for the staircase on the shoreline bluff shall be duly executed in a form approved by the City Attorney.



- Parcels
- Parcels
- Parcels
- Parcels
- Streams
- Wetlands

- LandUse_Action N
- Decision Reached/Appeal Period Over
- Shoreline
- Streets
- Highway
- Parcels Kitsap County Data

CITY OF
BAINBRIDGE ISLAND
MAY 29 2013
DEPT OF PLANNING &
COMMUNITY DEVELOPMENT

- 2009 12" Color Island Orthophoto
- Red: Band_1
- Green: Band_2
- Blue: Band_3
- BI_Background-Shoreline
- BI_Background-Land
- BI_Background-Water